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IFB 2024.08.29LAK Lake Stevens Library

Project ADDENDUM # 7: Questions, Answers, and Substitution Request Responses

October 4, 2024

Responses to all questions received by the deadline of September 30th, and all substitution requests received by the deadline of September 26th are included in this addendum.

One final revised specification section, 08 71 00 Door Hardware, will be uploaded at or before 5pm on Tuesday, Oct 8.

SUBSTITUTION REQUESTS:

[Full documentation of the substitution requests can be found at this link.](#)

The following substitution requests are approved:

- 07 54 00 – Sika Roofing – PVC roofing (attached)
- 09 68 13 – Wellness Flooring – Modular Carpet Tile (attached)
- 09 68 13 – Wellness Flooring – Walk off mat (attached)

The following substitution request is approved as noted:

- 08 35 23 – Nanawall – Folding Glass Doors (attached)
 - Substitution is approved provided that the proposed product offers a fully recessed ADA compliant threshold as described in the specifications.
- 12 24 13 – Lumenomics – Roller Shades (attached)
 - Substitution is approved provided that the proposed product meets all applicable LEED requirements.

The following substitution requests are not approved:

- 07 05 43 – Facades NW – Cladding Support System (attached)
- 10 71 13 – Architectural Grilles and Sunshades – Sunshades (attached)

Revisions to the Drawings:

[Full documentation of revised drawings can be found at this link.](#)

C0.10 CIVIL NOTES

- Construction Sequence Updated

C1.00 TESC & SWPPP PLAN

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- Notes 4-8 Added
- Straw Bale Silt Barrier Added in Roadside Stormwater Ditch
- Silt Fence Added Around Bioretention Facilities (Required Once Bioretention is Constructed)
- Additional Dimensions Provided for Temporary Sediment Pond
- Emergency Overflow Spillway for Temporary Sediment Pond Shown
- Turbidity Monitoring Location Added On Temporary Sediment Pond Outlet

C1.10 TESC & SWPPP DETAILS

- Triangular Silt Dike Detail Updated

C3.00 ROAD, SIGNAGE, AND TRANSPORTATION PLAN

- Notes 5 and 6 updated to clarify Thermoplastic Striping Onsite and Traffic Paint Striping in the ROW
- ROW Parallel Parking Area Updated to Accommodate Fire (Signage, Curb, Parking Striping)

C3.11 ROAD AND TRANSPORTATION DETAILS

- Length of Curb Cut on Detail 9 Updated to be “Per Plan”

C4.00 GRADING PLAN

- ROW Parallel Parking Area Updated to Accommodate Fire (Signage, Curb, Parking Striping)
- Curve Tables Updated to Reflect New Curb Alignment Grading

C4.10 GRADING ENLARGEMENTS

- Two Additional Curb Cuts Have Been Added to the Bioretention
- Minor Grading Adjustments at ADA Parking

C5.00 STORM DRAINAGE PLAN

- CB #2 Location Shifted
- ROW Pipe Clarified to be Ductile Iron

C5.11 STORM DRAINAGE DETAILS

- Ductile Iron Storm Pipe Bedding Detail Added
- Bioretention Details Updated to Specify a High Performance Bioretention Soil Mix and Polishing Layer Materials (Material Information Provided in Updated Specs)
- Compost Layer Removed from Bioretention Detail

C6.00 SANITARY SEWER AND WATER PLAN

- Domestic Water Service Clarified as 2”

C6.20 99TH AVE NE UTILITY PLAN AND PROFILE

- CB #2 Location Shifted

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- Existing Water Main Clarified as Ductile Iron
- CB #1 and CB #2 IEs Slightly Adjusted

C7.00 FOUNDATION DRAINAGE PLAN

- Storm Connection to New Pipe in ROW Adjusted to Incorporate CB #2 Shift

L112 – MATERIALS AND LAYOUT PLAN – NE ENLARGMENT

- Curb and planting area revision at 40' Fire Safe Harbor zone along 99th ROW
- Removal of 1 ROW street tree
- Revision to the planting area east of larger glacial erratic

L310 – IRRIGATION PLAN

- Layout of irrigation spray heads and lateral lines changes in the planting area at 40' Fire Safe Harbor zone along 99th ROW

L410 – PLANTING PLAN

- Plants layout and quantities changes in the planting areas revision at 40' Fire Safe Harbor zone along 99th ROW
- Boundary and notes added for soil preparation area clarification.

L420 – PLANT SCHEDULE

- Plant quantities updated corresponding the planting area changes

AS001 Architectural Site Plan

- Paving and striping revised along ROW to match final permitted design.
- Add location of additional foundation and infrastructure for future EV charger. Two locations previously shown in this area, three are required.

A900 Schedules

- Hardware group revised for door 100B

S001

- Updates CLT fire rating requirements and removes wood preservative requirements.

S100

- Updates slab-on-grade thickness tag to 4" to be consistent with Note F2. Adds post to support previously missed glulam beam.

S101

- Adds new glulam beam to frame in opening that was previously missed; Cleans up geometry of beams along Grid H. Updates Fire Rating tag callout.

S102

- Fixes beam framing on plan at shear wall at Grid H.

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S111

- Fixes errors in CLT layout plan dimensions.

S321

- Updates detail 3/S321 to fix detail per bidder comments.

S501

- Updates detail 11/S321 to address bidder comment regarding tolerances.

S502

- Updates detail 6/S502 to show beam on top of CLT rather than beneath, also uses bolts instead of screws. Updates detail 10/S502 to reflect similar changes.

S503

- Updates detail 8/S503 to be more like other like conditions. Updates detail 15/S503 to address conflicts between bolts and beams.

S601

- Updates 12/S504 to remove incomplete hanger schedule and reference new hanger schedule detail.

S603

- Updates 3/S603 to remove I-joist and shown dimensional lumber to reflect actual conditions.

S702

- Updates schedules to accommodate larger rough opening widths in all tables.

M004 Points List and Sequence of Operations

- Deleted Sequence of Operations Fire Smoke Dampers section. Deleted Fire Smoke Dampers points in Building Control System Point Summary.

M151 Second Floor HVAC Plan

- Deleted Fire Smoke Dampers in Elevator Control Room 211.

M301 Mechanical Details

- Deleted Fire Smoke Damper Detail #7.

REVISIONS TO THE SPECIFICATIONS:

[Full documentation on revised specifications can be found at this link.](#)

01 35 15 LEED Certification Procedures

- Section 2.1.K removed

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05 12 00 Structural Steel Framing

- Several sections amended. See revised spec.

06 15 43 Cross Laminated Timber Panels

- Several sections amended. See revised spec.

06 18 00 Glued-Laminated Construction

- Several sections amended. See revised spec.

07 54 00 Thermoplastic Membrane Roofing

- Section 2.3.A amended

08 43 13 Aluminum Framed Entrances and Storefronts

- STC values added for storefront systems under section 2.6

08 80 00 Glazing

- Section 2.2.B amended
- Section 2.4.B removed
- Section 2.4.C.1.e added

09 65 00 Resilient Flooring

- Section 2.3.A.1 amended

09 69 00 Access Flooring

- Section 2.4.B.6 amended
- Section 2.5.C added
- Section 2.7.A removed

26 27 26 Wiring Devices

- Deleted EV charging stations. Charging stations will be provided by Owner. Contractor shall provide conduit, circuitry and concrete foundations for chargers as indicated on drawings.

28 31 11 Fire Alarm

- Revised FACP part # as previously specified model has been discontinued.
- Revised part #'s for selected devices to current part numbers.
- Note: Substitution request received for FACP was not considered as the request arrived subsequent to the deadline.

31 00 00 Earthwork

- Section 2.9 added

33 40 00 Storm Drainage

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- Several sections amended. See revised spec.

PROCUREMENT AND REGULATORY PROJECT QUESTIONS:

- I was hoping to confirm the process to Siemens fire alarm system approved for the Lake Stevens Library Project. Could you let me know what is needed to get this approval?
The process for substitution requests is outlined in the project manual, however the deadline for submission is past for the bid phase.
- I have received requests from electrical subcontractors that the bid date be pushed back at least one week to accommodate the fact that electrical specifications were not released until 9/17 with Addendum #3. They'll need more time to complete take offs and get vendor pricing before the bid date.
The deadline for bids has been moved to 2:00:00 PM PDT, Wednesday, October 16, 2024. Full information can be found in Addendum 6.
- A201 3.11 Documents at Site: Please confirm the contractor provided Project Manager Software per 01 30 00 3.6A meets this requirement and a redlined updated hard copy of documents is not required.
Contractor shall provide project management software and also maintain an updated redlined hard copy of documents onsite.
- 01 10 00 1.6.B.1 Work Hours: Are there usually restricted work hours that will be required by the Owner? Can it be confirmed that 6am to 5pm weekdays and 9am to 5pm on Saturdays are acceptable work hours to the Owner?
Per Lake Stevens noise control ordinance, noise is prohibited before the hours of 7:00 am on weekdays and 9:00 am on weekends, and prohibited after 9:00 pm.
- 01 30 00 3.6A Project Management Software: Please confirm that CMiC and BIM 360 are approved equals for Procore.
Project management software shall be procore or equal. The successful bidder may submit alternate software for review and approval.
- 01 43 43 Special Inspections and Testing: Please confirm that the third party special inspections required by this section are provided by Owner.
Confirmed.
- 01 56 39 Temporary Tree and Plant Protection: Please confirm that the work in this section noted and by Project Arborist is provided by Owner.

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The Project Arborist is contracted under the Contractor or subcontractor per specification - SECTION 01 56 39 TEMPORARY TREE AND PLANT PROTECTION. The arborist is an important part of the Contractor's staffing to ensure the work in and around the Owner's tree assets are informed, supervised, and monitored by an ISA certified expert.

- The Owner provides Builder's Risk insurance per specs. Is there a deductible that is Contractor may be responsible for?
The deductible would be covered by the Owner.
- Bid form asks us to include percentages for change orders for overhead and markup isn't this typically dictated by the owner's contract? What is keeping a contractor from putting 100% in there for CO markup?
- *We are removing this section (Section 1.08) from the Bid Form. The Owner is establishing a cap of 15% overhead and profit on the net cost of the General Contractor's Work; and a cap of 10% on the cost of work done by the Subcontractor. Bidders should not fill in this section 1.08. If a bidder completes this section, the bid will still be considered, but Section 1.08 will be disregarded.*
- Mass Timber: In the Bidder Responsibility Form (Attachment F), the preliminary schedule lists six critical items as a minimum requirement for the schedule. Given that mass timber is a critical component of the project and often carries with it several months of manufacturing lead times that will drive the scheduled start of the structure, should a seventh critical item be added and the bidders reflect in their schedule mass timber procurement with those lead times and required detailing?
Attachment F is not due with the bid. Attachment F is to be completed by the successful bidder. Any milestone on the critical path, including mass timber, should be included on the preliminary schedule
- Mass Timber: To mitigate lead times for mass timber, manufacturers of mass timber require deposits (manufacturer dependent, but up to 40% of the mass timber package) to secure manufacturing slots and hold production schedules. Will the successful contractor be able to bill for those deposits upon receipt of NTP or will they be required to advance those deposits?
The successful bidder will be able to bill for the deposits in the same period the successful bidder paid for the deposit or the NTP whichever is later.
- Attachment L Clarification: We have reviewed the response in Addendum #4 regarding the Subcontractor Listing form requirement and timing but would like clarification on the required form Attachment L Statement of Contractor Information. There is a section on the second page that has an area to list Subcontractors and their UBI numbers. What divisions of work is this form requiring and what is the timing for submission of Attachment L?

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Attachment L is completed by the successful bidder. Attachment L is not due with the bid.

- Federal Funding Requirements: Please confirm that the project is funded as stated in the Contract and the boiler plate language about federal funding requirements do not apply.
The project is funded as stated in Section 00 11 13 Invitation for Bid and is funded with local property tax (Sno-Isle Libraries) and State Grants (Washington State Dept. Of Commerce Library Capital Improvement Grants). The boilerplate language that specifically refers to Federal Funding does not apply. However, some Federal language that are broader Federal regulations (i.e. Equal Employment Opportunity, Civil Rights Act, etc.) apply.
- Indemnity: Is the Owner willing to negotiate the indemnity terms in the contract such as they comply with RCW 4.24.115?
The Owner is not willing to negotiate the indemnity terms.
- Bid Submission Requirements: Please confirm the only required documents to be submitted with the bid are Section 00 41 00 Bid Form (less subcontractor listing forms), Attachment K and Attachment L.
Attachment K and L are not due with the bid. Required documents to be submitted with the bid are listed in part 1.06 “Forms Required With Bid Submittal” of the Section 00 41 00 Bid Form.

ARCHITECTURE QUESTIONS:

- *Additional questions related to the Mass Timber can be found in this linked document. Some questions received were deemed to be more appropriate for construction administration and will be discussed with the successful bidder through the construction phase RFI and submittal process. Those are noted in the document.*
- Is there a floor finish for the elevator? The elevator is not listed on the Finish Schedule (A900/9), and the elevator Specs says that the floor finish is to be done by others (14 20 00, 2.4.C, 10)
Floor finish in the elevator should be walk-off mat tiles, CPT-2.
- There is a CPT-4 listed on the Finish Legend for the Children’s Area (A900/9). That material is not specified in the specs (09 68 13). Also, there is an area on drawing A-100 between gridlines 3 & 4 and B & C that shows a transition between CPT-1 and CPT-4, but no specific line (A100). Please clarify the material and the exact location it will be used for CPT-4.

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CPT-4 is the second colorway of the modular carpet tile referred to in spec section 09 68 13, section 2.3.B.3. (CPT-1 is the first colorway of the same carpet product.) A100 was revised in Addendum 5 to show the missing transition line between CPT-1 and CPT-4.

- Stair 1 is not shown on the Finish Schedule (A900/9), but detail #1 on drawing A-501 refers to a Resilient Stair Tread. Is there a matching rubber landing tile on the landings for Stair #1 as it is not defined in the specs (09 65 00, 2.5)? Also, what base would be used for this area?

Yes, the stair landing should have matching rubber tile with raised design (Roppe profile 992). Spec has been revised accordingly. Stair 1 does not have any base material.

- Spec section 096500 #2.4 shows Roppe Type TS 4” base, but it is not shown on the Finish Schedule (A900/9). Please define where rubber base should be used.
Resilient base is called out as RUB-C in the Base column of the finish schedule (9/A900).

- Referencing spec section 09 65 00 Resilient Flooring, paragraph 2.3 A calls out for Mohawk Medi-Flex Sheet as the basis of design and Armstrong Medintech Plus as a comparable acceptable product. Note both of these materials have been discontinued by the manufacturers. Please review and select current/available materials and advise.

See revised spec section 09 65 00 in this addendum with updated products.

- Door hardware set 8.0: Please confirm that the ‘Privacy Lock w/Occupancy Indicator’ is to be “ML2069”.

Confirmed.

- Please confirm the ‘Levers w/Escutcheons’ product is to be the “AAL104” – Lever Handle by ASSA ALBOY.

One final revised specification section, 08 71 00 Door Hardware, will be uploaded at or before 5pm on Tuesday, Oct 8.

See updated 087100 Door Hardware spec included in this addendum resolving these discrepancies.

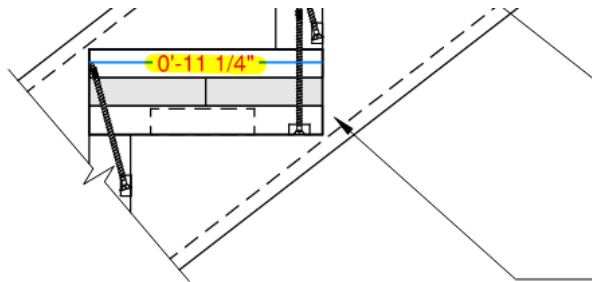
- Please confirm where each of the Wood Siding types are to be used as they are not labeled in the drawings. 074623 – Wood Siding
 - Wood Cladding and Siding: WD-1
 - Slats over Exterior Windows: Choice of using WD-2 or WD-3

WD-1 is used for the board and batten siding on the building (all modules in 1/A420). WD-2 applies only to the vertical wood screen elements detailed in

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1/A303 and 2/A303. WD-3 is the product for the gates on the waste enclosure structure (see 3/AS003).

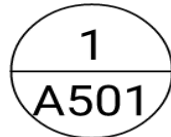
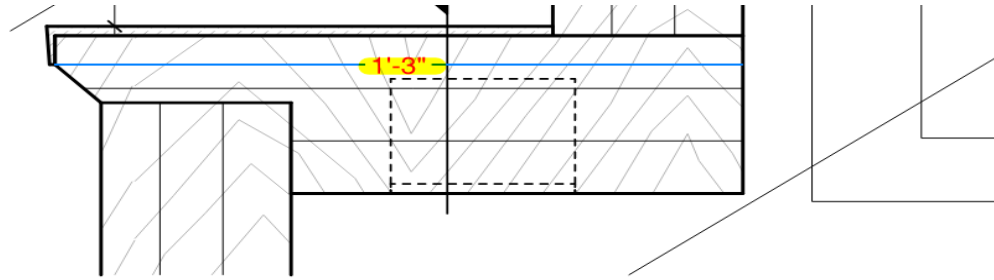
- Please confirm the interior glass ID's 103, 105, and 107 are required to be Low E.
Low E not required on interior glazing
- In the review of the CLT stair details, we are concerned with the layout used in detail 1 A501. We intend on pricing a GLT stair tread. Is that acceptable?
CLT stair tread must be used. Detailing can be discussed during shop drawings.
- Please confirm the riser material as Solid blocking, CLT or GLT?
Treads and risers are to be 3-ply CLT as shown in 1/A501.
- There is a discrepancy in the drawing for what the actual tread depth is, can you please confirm?
Dimensions are as shown on 1/A501.



8 STEEL FRAMING DETAIL

1 1/2" = 1'-0"

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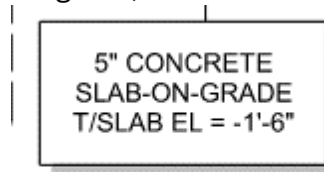
SECTION - TYP STAIR 1 TREAD

SCALE: 3" = 1'-0"

- *I am wondering about the AV scope. I see call outs for AV device locations as “rough in only” on E400 and E401. Does the owner have another AV vendor they are working with directly? I also see call outs for digital room schedulers, but no information in the specs about those. Are those to be provided by the AV subcontractor on this project, or does the owner have a separate AV vendor they are working with directly on those?*

AV scope is as shown on electrical drawings. AV equipment is owner supplied.

- On drawing sheet S100, the slab on grade thickness within the drawing shows 5” concrete slab on grade, but foundation plan notes state it will be 4” thick:



- SLAB-ON-GRADE SHALL BE 4” THICK WITH #4 @ 12” OC EW, UNO. BASE FOR SLAB-ON-GRADE SHALL CONSIST OF VAPOR RETARDER OVER 4” COMPACTED GRAVEL FILL.

Based on elevation requirements, please confirm the concrete slab on grade is to be 4” thick.

4” Slab-on-grade confirmed. See updated drawings.

- Can you update a drawing to show which planters are considered site planting, which are ROW/Plaza Planting, and which are wetland buffer planting? We cannot find this information on a plan and although the plaza is labeled on L000 it’s not clear which planters require which preparation treatment.

See Addendum 07 drawings for an update to the L410 Planting Plan that specifies soil preparation areas that match the detail 02/L520. There are three categories for soil preparation and the locations are as follows:

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- **“SITE PLANTING”** – These are all site areas outside of the Plaza/ROW and Outer Wetland Buffer Boundary as defined below:
 - **“PLAZA/ROW PLANTING AREAS”** – These are planting beds that are within the street ROW limit OR within/adjacent to the plaza area hardscape. These are areas typically surrounded by hardscape/structure that are more heavily compacted and disturbed, requiring more depth in subgrade preparation and topsoil lift.
 - **“OUTER WETLAND BUFFER BOUNDARY PLANTING”** – These are areas to the west of the “25% Outer Required Wetland Buffer Boundary” line on the plans. This area’s existing soils combined with the limited lift of topsoil will be suitable for the type of restoration planting in that area.
- On Detail 2/A601 in meeting rooms shows an operable glass partition and La Cantina folding doors with double glazed window system above. Does the double glazed system have an STC rating? On the web site it states it has something between 40-50STC, probably depending on glass thickness. The lower operable partition and La Cantina Folding doors do not have a STAC that we can find are not double glazed. Should we use ¼” clear tempered glass in the lower Kawneer 450 frames and La Cantina?

STC Values for each of the BOD products are as listed below. Please refer to the revised spec section 08 43 13 Aluminum Framed Entrances and Storefronts issued in Addendum 5 for glazing thicknesses/types for each storefront system, as advised by the project’s acoustic consultant to provide desired STC values.

Glazing Wall Type	STC Rating
Infinium Double Butt Glazed	40
Trifab Versaglaze 450	35
La Cantina Sliding Door, Dual Glazed	39
Kawneer 350 Full Lite	35
Kawneer 1010 Sliding Mall Front	35

- The plan shows (with no description) an in-line gate valve that connects to the Southern branch of the 8”x 6” hydrant tee, thus this tee will need to be cut into the mainline, not hot tapped. The plan also shows that the Northern branch of the hydrant tee is married to the 8”x 6” fire service tee that is called out to be a tapping sleeve for some reason, this call out is very unorthodox. If the main has to be cut into to install the mainline valve anyway, why would a tapping sleeve be necessary when the hydrant tee, fire service tee and all 3 of the associated valves could be

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installed simultaneously? Further, the 2” domestic service that calls out an 8”x 2” tapping sleeve (which is not an item that’s manufactured) could be installed at the same time as the other two aforementioned tees with an MJ x FL 8”x 4” tee w/ a 4”x 2” tapped blind flange, or after the other tees are installed with a 2” IPT double strapped saddle. Finally, the 2” domestic service is shown as a 4” service at the SW corner of the building, which I assume is a typo as there’s no description for that either. Please Provide a Revised Drawing / Detail That Shows:

- No tapping sleeves are needed and all proposed main line tees will be cut in at the same time and connected to the existing pipe via a long pattern repair coupling.
- Whether the 2” Domestic service will be an 8”x 4” tee reduced down to 2” IPT saddle tap.
- The 2” domestic service is in fact 2” diameter all the way to the building.
- The existing 8” water main pipe type.

The civil plans have been updated to correct the domestic water service size typo. The water service shall be 2” from the main to the building. Additionally the civil plans have been updated to show the existing water main as ductile iron. Water service tee’s and fittings are per Snohomish PUD’s standard plans and have been included in the plans at the direction of Snohomish PUD. Desired adjustment to the service tee’s will need to be discussed/coordinated with Snohomish PUD’s inspectors during the preconstruction meeting.

- The Glulam section of the structural notes, S001, says “Layup shall be modified to meet 1-hour fire rating.”

GLUED-LAMINATED TIMBER

GLUED-LAMINATED TIMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH ANSI/AITC A190.1 "STRUCTURAL GLUED LAMINATED TIMBER". APPLY ONE COAT OF PENETRATING END SEALER IMMEDIATELY AFTER TRIMMING IN SHOP OR FIELD. MEMBERS SHALL BE VISUALLY GRADED WESTERN SPECIES MANUFACTURED WITH ARCHITECTURAL APPEARANCE GRADE AND WITH LAYUP COMBINATION AS FOLLOWS. **LAYUP SHALL BE MODIFIED TO MEET 1-HOUR FIRE RATING.**

<u>TYPE</u>	<u>COMBINATION</u> <u>SYMBOL</u>	<u>SPECIES</u>	<u>USES</u>
BEAMS	24F-V4	DF/DF	SIMPLE SPAN
	24F-V8	DF/DF	CONTINUOUS OR CANTILEVER SPAN
COLUMNS	COMBINATION 3	DF	ALL

See updated drawings. Layup shall be modified to meet 1-hour fire rating where noted on drawings.

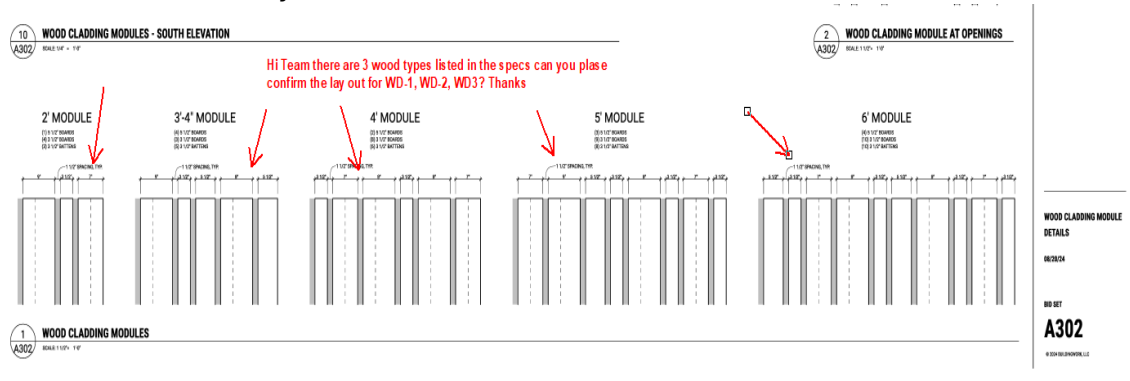
- **Drawing sheet S101** specifies QTY (4) glulam beams as “FR1” which we interpret as 1-hour fire rating.

Are these the only four glulams that need a 1-hour fire rating modified layup, or do all the glulams in the project need a 1-hour fire rating modified layup?

Yes. Note updated drawings added another FR-1 glulam in the same vicinity.

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- Signage Clarification: Detail 13/A705 shows a “Matte Black J Trim” on the top and bottom. Please provide more information or parts numbers for this product.
Brixwell D645MBL or similar
- Roofing Clarification: Assemblies shows PVC roofing but spec includes Durolast PVC, Jm PVC, but Carlisle and Elevate TPO. Is TPO being accepted and if so, what thickness?
Roofing to be PVC product. Specification has been revised to remove TPO products.
- Wood Siding Clarification: There are 3 wood sidings listed in the specs can you please confirm the layout for each wood siding?
 - WD-1 – Wester Larch Harbor Square Edges 5/8”x 3 1/2” & 5/8”x 5 1/2”
 - WD-2 – Acetylated Wood Slates s45 1 1/2” x 3 1/2” Accoya Fawn
 - WD-3 – Kebony North American 1” x 6”



WD-1 is used for the board and batten siding on the building (all modules in 1/A420). WD-2 applies only to the vertical wood screen elements detailed in 1/A303 and 2/A303. WD-3 is the product for the gates on the waste enclosure structure (see 3/AS003).

- Metal Wall Panels & Standing Seam Metal Roof Clarification: The specs do not indicate the thickness of the aluminum exterior metal wall panels and standing seam metal roof. Can you please advise on the thickness?
Thickness of BOD product for aluminum wall panels is .040.
Thickness of BOD product for standing seam metal roof is .032.
- Access Flooring: Section 2.4.B.2.e would seem to eliminate TecCrete as they do not have a 2x ultimate load. Please confirm if this load is required, or a typo.
The total load referenced in section 2.4.B.2.e refers to typical floor loading, which does not include seismic anchorage loads.

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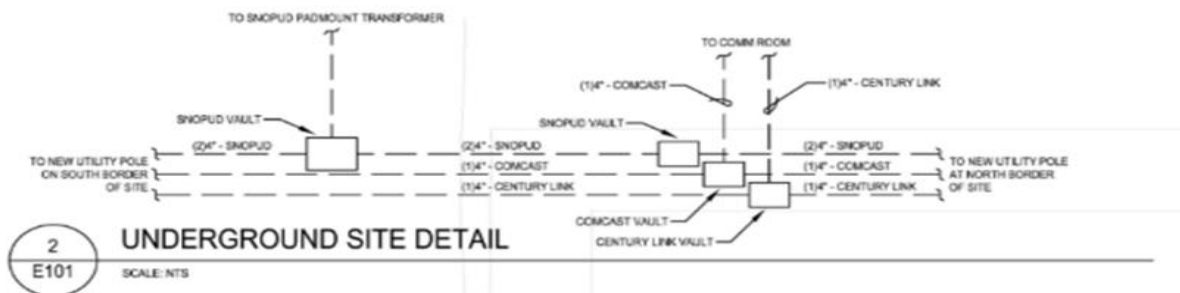
- Access Flooring: Section 2.5.C.1.a would seem to eliminate Tate as we have a steel top plate. Please confirm if they want a concrete (sealed) finish or steel top plate finish.
Finish needs to accept carpet; BOD is Tate Concore which has a steel top plate finish.
- Access Flooring: Section 2.7.A needs clarification. The spec reads like a CC1000 but that could be language specific to the TecCrete panel. Do they want an exposed concrete finish or is it getting covered by a floor finish (such as carpet or vinyl)?
All raised floor panels will be covered by carpet tile.
- Fire Alarm System: The specified alarm system is no longer available. Please review substitution request for suggested alternate.
Spec section 28 31 11 has been revised to indicate current part numbers for the Silent Knight product as applicable. Spec notes that equals are acceptable upon approval.
- Thermoplastic Material Clarifications: Please verify the Thermoplastic Material for the 4" line striping. Is it Hot Applied or Preformed or is it a 2-part mix?
The civil plans have been updated to call out all striping on site to be Thermoplastic Material and all striping in the ROW to be traffic paint. WSDOT Standard Specs referenced in the Pavement Markings and Signage Bid Specs allow for Thermoplastic to be Liquid Hot Applied Thermoplastic (Type A), Pre-formed Fused Thermoplastic (Type B), Cold Applied Pre-formed Tape (Type C), or Liquid Cold Applied Methyl Methacrylate (Type D). All four materials are acceptable and within spec.
- Hash Striping Clarifications: Will all the Hash Striping Walkways be thermoplastics?
The civil plans have been updated to call out all striping on site to be Thermoplastic Material. This includes parking stall striping, ADA striping, and striped walkways/ADA aisles in the parking lot.
- Video Cameras Clarifications: Per sheet note 1 on E400 and E401 cameras are furnished and installed by others. There are also cameras in the parking lot but no note of them being supplied by others. Please confirm these are also owner furnished as well.
Confirmed that outdoor cameras are also furnished/installed by the owner.
- Page S702 has design tables for exterior sills, headers, and jamb studs. There are separate tables for L/240 and L/600 deflection limits. Can you clarify which areas or conditions would have the L/600 deflection limit requirement?
L/600 tables should be used for areas with brittle finishes, including glass or masonry. L/240 can be used elsewhere.

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- There are several window openings in exterior metal framed walls that exceed the max RO width allowed for design tables for exterior sills and headers. Windows 101, 201, 203, 204, 212, and 213 all over 12'. Windows 101 and 103 are 12' wide and would exceed maximum RO if the wall requires L/600. We either need additional structural steel at these locations or additional spans added to the design table (L/240 and L/600 accordingly). Please provide direction for these locations.

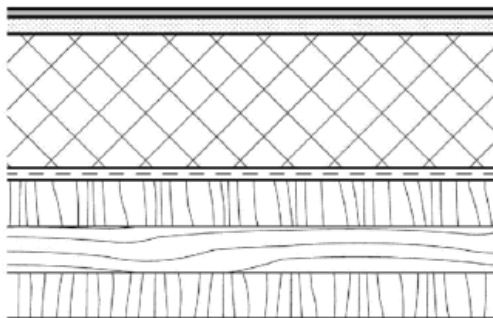
See updated drawings for increase in Rough Opening sizes in tables for L/240 and L/600.

- Could you please help identify the electrical vaults.



Refer to revised sheet E101 issued in Addendum 5.

- The roof insulation is considered to be done with tapered rigid insulation (ISO with R-5.7 per inch): How to calculate base layer of the foam to meet requirements in the plan (A401 R1):

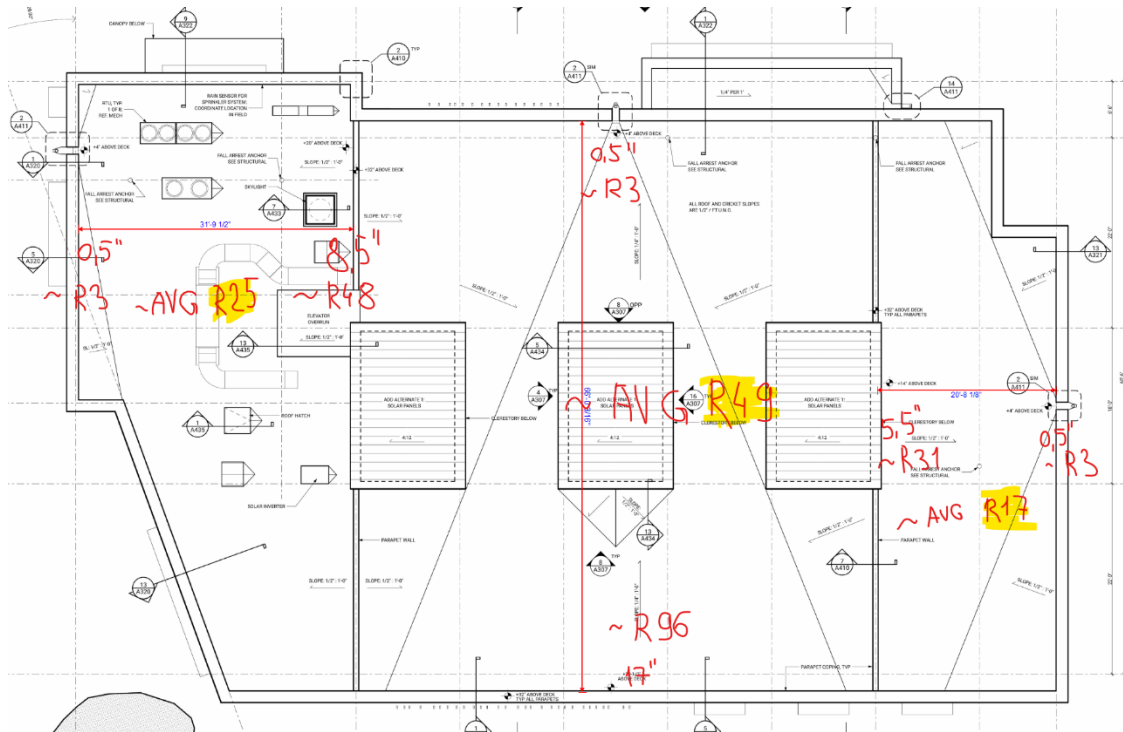


ROOF ASSEMBLY
PVC ROOFING MEMBRANE
COVER BOARD
R-38 POLYISO RIGID INSULATION (AVERAGED)
AIR/VAPOR BARRIER
3-PLY CLT PER STRUCTURAL
R VALUE = R-38 AVERAGED

R1 CLT ROOF ASSEMBLY

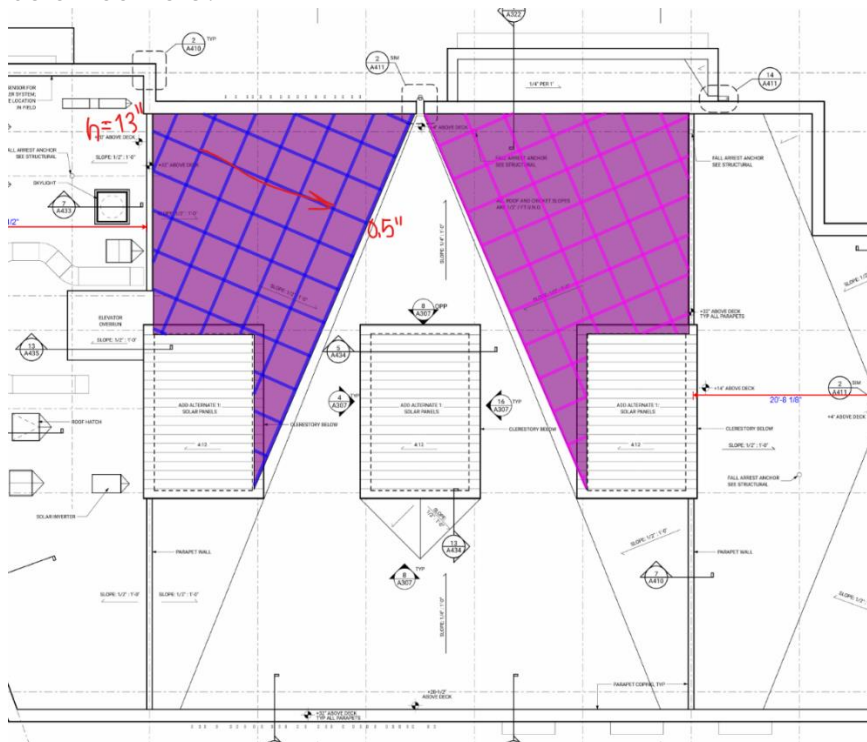
This approach having averaged R-value=38 leaves roof with some significant areas with R-value less than R-38:

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Minimum base layer of foam insulation at any location to be 4". See calculated heights of insulation above deck on roof plan; architect has confirmed overall average of R-38.

- Is the cricket schema on the main roof done to provide better R-value in the marked below corners?



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Layout schema is to direct water to single downspout as noted on plans. During submittal process, shop drawings may propose alternate solutions that achieve average R-value and do not add any downspouts, for design team consideration. All bidders to price layout as shown in contract documents.

- Here is a question from a Fire Protection contractor: Could you please provide information on static pressure and available water flow for this site?
Static Pressure (psi): 55
Residual Pressure (psi): 50.8
Modeled Flow available with 8 fps and 20 psi: 1,700 GPM
- On Sheets L110 and L111, there are timber benches called out on the drawings as note 3A. There are no specs regarding timber benches included in the bid package. Are the timber benches supposed to be made out of salvaged wood? If not, is there a specific product for these benches? Can you provide a spec section for the timber benches?
Timber benches are in the specifications in SECTION 06 20 13 – EXTERIOR FINISH CARPENTRY and SECTION 12 93 00 – SITE FURNISHINGS. The timbers are to be salvaged wood and the acceptable species are listed in those specifications.
- Spec 09.69.00: 2.4.B-2.C, Calls for a concentrated load of 1,000lb. o 2.4.B-6.A, Calls for a concentrated load of 1,250lb. per Cisca test. o 2.3.A-1, Calls for Tate Concore 1000. Not an exposed concrete panel. o 2.7-A, Finish called out as exposed concrete finish. A900 has carpet finishes which would be bare tile. Carpet by others.
1000 lbs is the required design standard. All raised floor panels will be covered by carpet tile.
- 2.3.A-1 provides Tate ConCore 1000 as a product option. Section 2.4.B-2.C calls for a concentrated load of 1,000lb on 1 sq in. However, Section 2.4.B-6.A goes on to state a concentrated load of 1,250lb per sq inch per Cisca test. Please confirm the tile concentrated load requirement of the Raised Access Floors, 1000#/sf or 1250#/sf.
1000 lbs is the required design standard.
- Document Reference: 08.80.00 – 2.4.B There is no STC Glazing for the Interior Storefronts provided in Spec section 08.80.00 – 2.4.B. Please advise on what this should be. STC Glazing for Interior Storefronts: White glass in wellness skylight: PVB arctic white interlayer
STC Values for each of the BOD products are as listed below. Please refer to the revised spec section 08 43 13 Aluminum Framed Entrances and Storefronts issued in Addendum 5 for glazing thicknesses/types for each storefront system, as advised by the project's acoustic consultant to provide desired STC values.

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<i>Glazing Wall Type</i>	<i>STC Rating</i>
<i>Infinium Double Butt Glazed</i>	<i>40</i>
<i>Trifab Versaglaze 450</i>	<i>35</i>
<i>La Cantina Sliding Door, Dual Glazed</i>	<i>39</i>
<i>Kawneer 350 Full Lite</i>	<i>35</i>
<i>Kawneer 1010 Sliding Mall Front</i>	<i>35</i>

- END OF ADDENDUM -